

GENERAL NOTES / ABBREVIATIONS / SYMBOLS

- The work included under this contract consists of all labor, materials, transportation, tools and equipment necessary for the construction of the project leaving all work ready for use.
- All construction shall conform to the codes listed on this page. In the event of conflict, the most stringent requirements shall apply.
- All work shall be done in accordance with AIA General Conditions Document A-201, Current Edition
- All wood in contact with concrete shall be pressure-treated.
- All work described in the drawings shall be verified by the contractor for dimension, grade, extent and compatibility to the existing site. Any errors, omissions, conflicts, discrepancies or unexpected conditions which affect or change the work described in the contract documents shall be brought to the attention of the architect immediately. Do not proceed with the work in the area of discrepancy until all such discrepancies are resolved. If the contractor chooses to do so, he shall be proceeding at his own risk. Any revision to the approved set of plans must be submitted to and approved by the governing agency prior to the revision being completed.
- The general contractor shall verify and assume responsibility for all dimensions and site conditions. The general contractor shall inspect the existing conditions and take note of existing conditions prior to submitting prices. No claim shall be allowed for difficulties encountered which could have reasonably been inferred from such an examination.
- The general contractor shall maintain a current and complete set of the construction documents on the job site during all phases of construction for use of all trades. The general contractor shall provide all the subcontractors with current construction documents as appropriate.
- Written dimensions take precedence. Do not scale drawings. Contact the architect for any missing dimensions.
- All dimensions to and from new construction, when shown in plan, our to face of finish. Dimensions which indicate otherwise are noted as such.
- All dimensions on reflected ceiling plans and elevations are from face of finish or centerline of column to centerline of future, group of fixtures or opening.
- All vertical dimensions are to face of subfloor, unless noted otherwise.
- All dimensions noted "verify" and "V.I.F." are to be confirmed by the contractor prior to construction.
- Coordinate all work with existing conditions, including but not limited to: irrigation pipes, electrical conduit, water lines, gas lines, drainage lines, etc.
- Protect all existing site conditions to remain including trees, shrubs, painting, etc.
- Details shown are typical. Similar details apply in similar conditions and my not be called out at each instance.
- Verify all architectural details with structural, civil and design/build drawings before ordering or installation of any work.
- Where locations of windows and doors are not dimensioned, they shall be centered on the wall or placed 6" from finish surface of adjacent wall as shown on the drawings.
- Omissions from these documents which are manifestly necessary to carry out the intent of the work, or that which is customarily performed, shall not relieve the contractor from performing such work as it is fully and completely set forth in described in the documents.
- Install fixtures, equipment and materials per manufacturer's recommendations.
- Verify clearances for flues, vents, chases, soffits, fixtures, etc. before any construction, ordering, or installation of any items of work.
- Sealant, caulking and flashing, etc. locations shown on drawings are not intended to be inclusive. Follow manufacturer's installation recommendations and standard industry and building practices.
- The contractor shall remove all rubbish and waste materials on a weekly basis, and shall exercise a strict control over jobsite cleaning to prevent any direct debris or dust from affecting, in any way, finished areas in or around the jobsite.

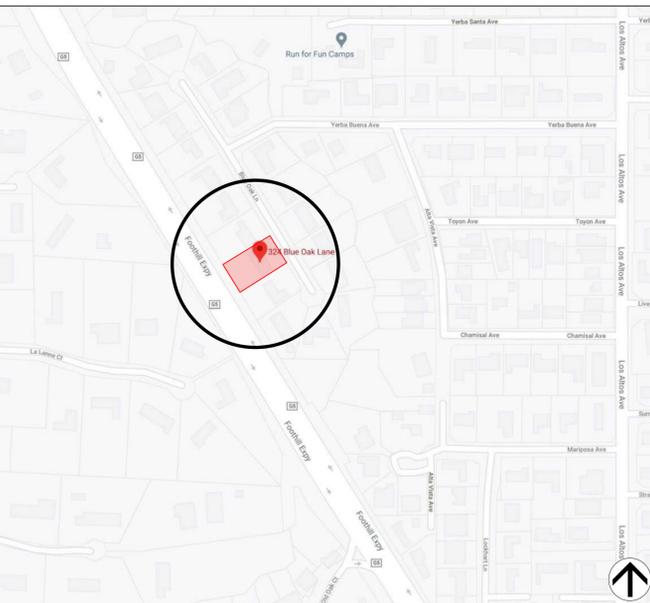
AB. ANCHOR BOLT	GA. GAUGE	R. RADIUS OR RISER	1	DOOR MARK
ACOUS. ACOUSTICAL	GALV. GALVANIZED	REF. REFERENCE	1	WINDOW MARK
AD. AREA DRAIN	GR. GROUND FAULT CIRCUIT INTERRUPTER	REIN. REINFORCE	REC. REQUIRED	
ADJ. ADJUSTABLE	GL. GLASS	RESL. RESILIENT		
A.F.F. ABOVE FINISHED FLOOR	GR. GRADE	R.O. ROUGH OPENING		
AL. ALUMINUM	G.S.M. GALVANIZED SHEET METAL	R.O.W. RIGHT OF WAY		
AL. BOARD	GYP. BOARD GYPSUM BOARD	SCD. SEE CIVIL DRAWINGS SCHED. SCHEDULE		
BLK. BLOCK	HB. HOSE BIB	S.D. SMOKE DETECTOR		
BLDG. BLOCKING	HD. HEAD	SECT. SECTION		
BM. BEAM	HDWR. HARDWARE	SEL. SELECT		
CAB. CABINET	ID. INSIDE DIAMETER (DIM.)	SH. SHELF OR SHELVING		
C.B. CHAIRS BOLT OR CEILING BEAM OR CATCH BASIN	INCL. INCLUDE	SHT. SHEET		
CEM. CEMENT	INT. INTERIOR	SH. SIMILAR		
C.J. CEILING JOIST OR CONTROL JOINT	INS. INSULATION	SK. SKYLIGHT		
CLG. CEILING	JAN. JANITOR	S.L. SEE LANDSCAPE DRAWINGS SPEC. SPECIFICATIONS		
CLR. CLEAR	JST. JOIST	SQ. SQUARE		
C.O. CLEANOUT OR CASED OPENING	JT. JOINT	SSD. SEE STRUCTURAL DRAWINGS		
COL. COLUMN	KD. KILN-DRIED	SST. STAINLESS STEEL		
CONC. CONCRETE	LAM. LAMINATE(D)	STD. STANDARD		
CONST. CONSTRUCTION	MAX. MAXIMUM	STL. STEEL		
CONT. CONTINUOUS	MECH. MECHANICAL	SURF. SURFACE		
DBL. DOUBLE	MEMB. MEMBRANE	SUSP. SUSPEND		
DEPT. DEPARTMENT	MIN. MINIMUM	SYN. SYMBOLS OR SYMMETRICAL		
DET. DETAIL	MTD. MOUNTED	T. TREAD		
DIA. DIAMETER	MTL. METAL	TOC. TOP OF CURB		
DIM. DIMENSION	NEW	TOP. TOP OF PAVEMENT		
DN. DOWN	N.I.C. NOT IN CONTRACT	TOW. TOP OF WALL		
DR. DOOR	N.O. OR NUMBER	TP. TYPICAL		
DS. DOWNSPOUT	NO. NOT TO SCALE	UNON. UNLESS OTHERWISE NOTED		
E. EAST	NT.S. NOT TO SCALE	VCT. VINYL COMPOSITION TILE		
EA. EACH	OV. OVER	VERT. VERTICAL		
E. EAST	OA. OVERALL	VF. VERIFY IN FIELD		
E.J. EXPANSION JOINT	O.C. ON CENTER	WI. WITH		
ELEC. ELECTRICAL	O.D. OUTSIDE DIAMETER (DIM.)	WD. WOOD		
EQ. EQUIP.	OFCD. OWNER FURNISHED CONTRACTOR INSTALLED	WH. WATER HEATER		
EQ. EQUIP.	OFI. OWNER INSTALLED	WP. WATERPROOF		
EQ. EQUIP.	OH. OVERHEAD			
EXP. EXPOSED OR EXPANSION EXT. EXTERIOR	OPNG. OPENING			
FA. FIRE ALARM	OPR. OPPOSITE			
F.A.U. FORCED AIR UNIT	PERF. PERFORATED			
FN. FOUNDATION	PL. PLATE OR PROPERTY LINE			
F.F. FIRE EXTINGUISHER	PLAM. PLASTIC LAMINATE			
F.F.C. FIRE EXTINGUISHER CABINET	PLAS. PLASTER			
F.F. FINISH FLOOR	PLYWD. PLYWOOD			
FN. FINISH	PR. PAIR			
FIX. FIXTURE	PT. POINT			
FLR. FLASHING				
FLR. FLOORING				
FLUR. FLUORESCENT				
F.O.F. FACE OF FINISH				
F.O.H.C. FREE OF HEART CENTER				
F.O.S. FACE OF STUD				
FTG. FOOTING				

DIRECTORY

OWNER
Mohsin and Tasmia Hussain
 324 Blue Oak Lane
 Los Altos, CA 94022-2104
 (650) 438-5719
 mohsinmh@gmail.com

ARCHITECT
Randolph Popp, Architect
 904 High Street
 Palo Alto, CA 94301
 (650) 427-0026
 randy@rp-arch.com

VICINITY MAP



Addition and Remodel at:

324 Blue Oak Lane

Los Altos, California



650.427.0026
 info@rp-arch.com



DRAWING INDEX

LEGEND	Two-Story Design Review								
■ Sheet Included									
- Sheet Not Included									
R Sheet Revised									
D Sheet Deleted									

ARCHITECTURAL

A0.0	General Notes, Project Info, Vicinity Map, Assessor Map	■							
C-0	Existing Site Survey and Topographic Info	■							
A0.1	Area Analysis	■							
A1.0	Architectural Site Plan	■							
A1.1	Neighborhood Context Photos	■							
A2.1	Proposed Construction Plans and Roof Plan	■							
A3.1	Existing Exterior Elevations	■							
A3.2	Proposed Exterior Elevations	■							
A3.3	Material Samples	■							

AGENCY NOTES

PROJECT INFORMATION

APN: 167-34-012
 NET LOT SIZE: 17,000 sf

ZONING: R1-10
 CONSTRUCTION TYPE: V-B
 OCCUPANCY: R-3
 STORIES: 1 Existing, 2 Proposed
 SPRINKLERED: Not Sprinklered

EXISTING AREA SINGLE-LEVEL HOUSE: 2,571.0 SF

PROPOSED CONSTRUCTION
 EXISTING TO REMAIN (NO WORK) 1,432.0 SF
 EXISTING TO BE REMODELED 1,139.0 SF
 NEW FIRST LEVEL ADDITION 562.5 SF
 NEW SECOND LEVEL ADDITION 909.2 SF

TOTAL CONDITIONED AREA: 3,561.9 SF
TOTAL UNCONDITIONED AREA: 480.8 SF
TOTAL FLOOR AREA: 4,042.7 SF

EXISTING GARAGE TO BE REMOVED 474 SF
 NEW UNCONDITIONED GARAGE 466 SF
 COVERED OUTDOOR AREA TO REMAIN 632.2 SF

ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	3,203.2 square feet (-19.%)	3,765.7 square feet (-22.%)	5,950.0 square feet (-36.%)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr. 2,571.0 sq ft 2nd Flr. 909.2 sq ft Total: 2,571.0 sq ft (-15.%)	1st Flr. 3,133.5 sq ft 2nd Flr. 909.2 sq ft Total: 4,042.7 sq ft (-26.%)	4,450.0 square feet (-26.%)
SETBACKS:			
Front	45.0 feet	25.0 feet	25.0 feet
Rear	76.9 feet	76.9 feet	25.0 feet
Right side (1 st /2 nd)	10.0 feet / 10.0 feet	10.0 feet / 52 feet	10.0 feet / 10.0 feet
Left side (1 st /2 nd)	10.0 feet / 10.0 feet	10.0 feet / 18 feet	10.0 feet / 10.0 feet
HEIGHT:	15.8 feet	24.6 feet	27 feet

SQUARE FOOTAGE BREAKDOWN

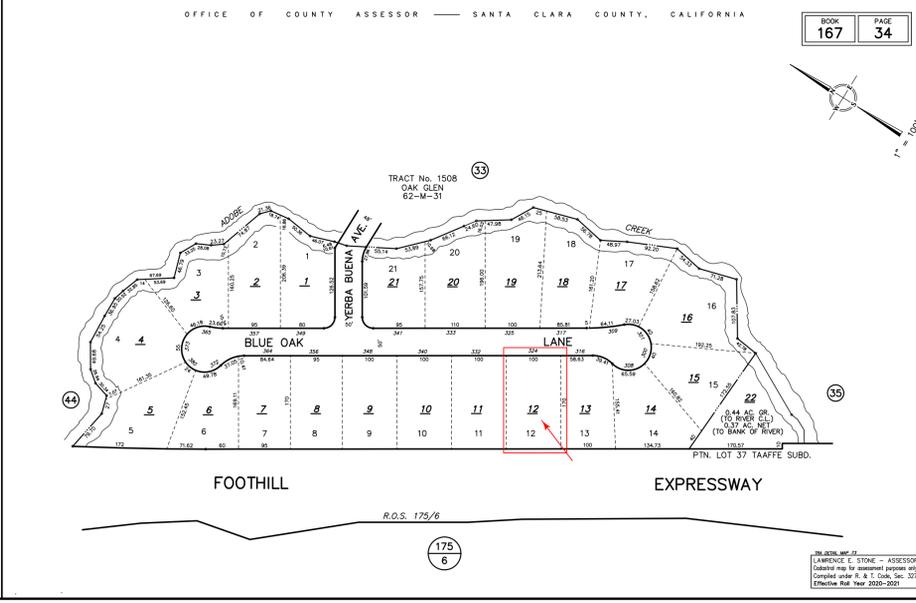
	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	2,097 square feet	1,443.5 square feet	3,540.5 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	474 square feet	(8) square feet	466 square feet

LOT CALCULATIONS

NET LOT AREA:	13,866.5 square feet
FRONT YARD HARDSCAPE AREA: <i>Landscape area in the front yard setback shall not exceed 50%</i>	818 square feet (33.%)
LANDSCAPING BREAKDOWN:	Total landscape area (existing and proposed): 3,121.7 sq ft Existing softscape (undisturbed) area: 10,744.8 sq ft New softscape (new or replaced landscaping) area: 0.00 sq ft <i>Sum of all three should equal the site's net lot area.</i>

APPLICABLE CODES:
 2019 California Building Code
 2019 California Mechanical Code
 2019 California Electrical Code
 2019 California Plumbing Code
 2019 California Fire Code
 2019 California Energy Code
 2019 California Residential Code
 2019 California Green Building Code
 Los Altos Municipal Code

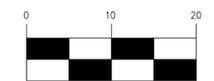
ASSESSOR'S PARCEL MAP



ISSUE	DATE
TWO-STORY DESIGN REVIEW SUBMITTAL	30 AUG 2020
TWO-STORY DESIGN REVIEW SUBMITTAL	5 OCT 2020
TWO-STORY DESIGN REVIEW SUBMITTAL	12 MAR 2021

DRAWING NUMBER

A0.0



SCALE: 1" = 10'

LEGEND

- BUILDING LINE
- CENTERLINE
- FLOWLINE
- PROPERTY LINE
- GAS LINE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND WATER LINE
- UNDERGROUND SANITARY SEWER LINE
- CONTOURS (1-FT INTERVALS)
- TREE (DIAMETER SIZE IN INCHES)
- GAS METER
- WATER METER
- ELECTRIC METER
- MAILBOX
- MISCELLANEOUS PULLBOX
- GRADE BREAK
- OUT WIRE OR POLE
- DOWN SPOUT
- JOINT POLE
- LIP OF GUTTER
- BACK TOP OF CURB
- EDGE OF PAVEMENT
- FEDERAL EMERGENCY MANAGEMENT AGENCY
- FLOWLINE
- GROUND
- HOSE BIBB
- HARDSCAPE ELEC LIGHT
- PAVEMENT
- ELEVATION
- SET SCRIBBLED "X" IN DRIVEWAY
- SANITARY SEWER MANHOLE
- SIDEWALK
- WOOD FENCE

BOUNDARY NOTE

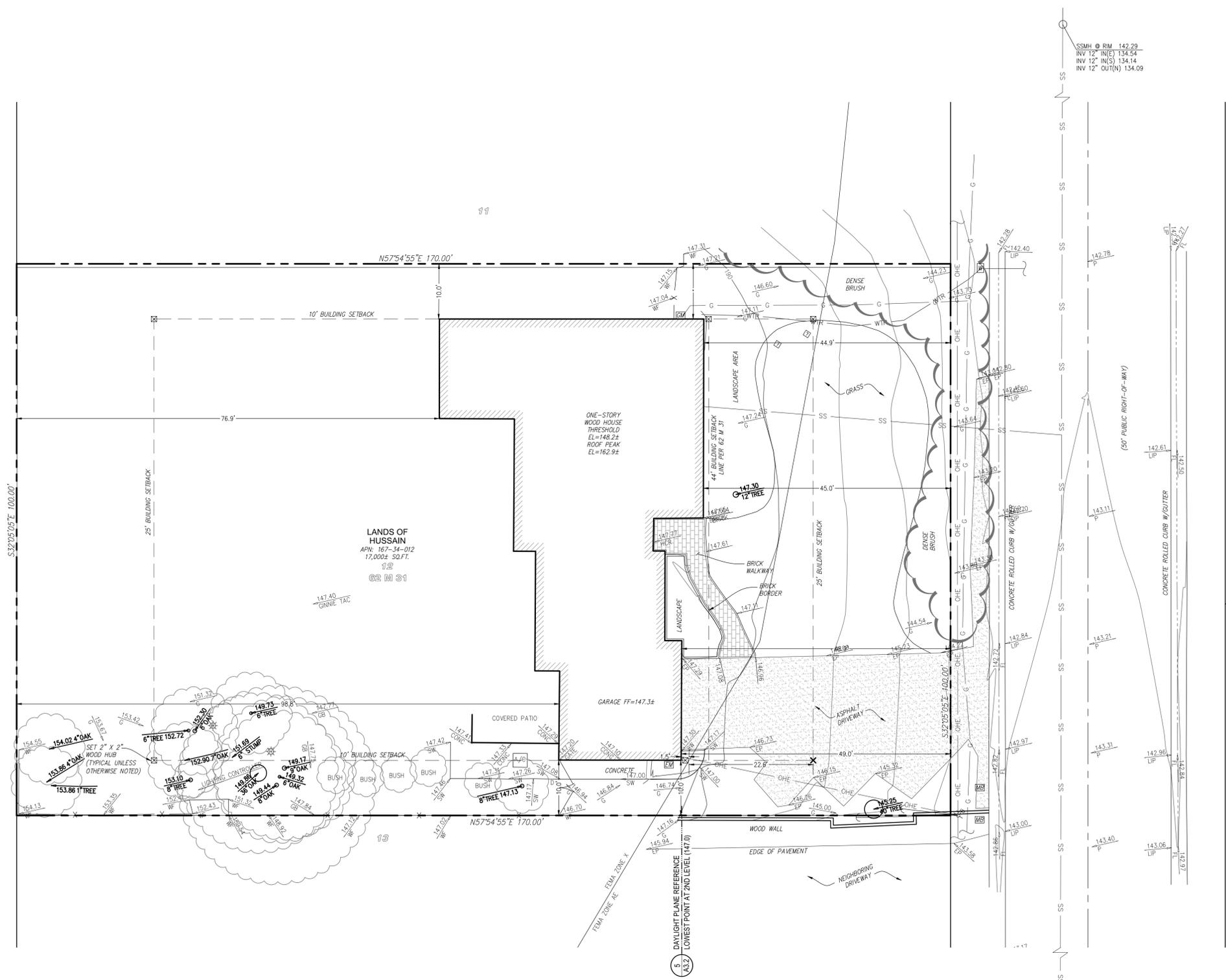
THE PROPERTY LINES SHOWN HEREON IS BASED ON THAT CERTAIN MAP FILED FOR RECORD ON AUGUST 30, 1955 IN BOOK 62 OF MAPS, PAGE 31 & 32 AND GRANT DEED DOCUMENT NO. 24285145, SANTA CLARA COUNTY RECORDS.

BUILDING SETBACK NOTE

BUILDING SETBACK INFORMATION SHOWN IS PER THE CITY OF LOS ALTOS R1-10 ZONING REGULATIONS UNLESS OTHERWISE NOTED.

UNDERGROUND UTILITY NOTE

THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.



FEMA NOTE

THE FEDERAL EMERGENCY MANAGEMENT AGENCY LINE SHOWN HEREON IS BASED ON THE FLOOD INSURANCE RATE MAP NO. 06085C0038H WHICH BEARS AN EFFECTIVE DATE OF 05/18/2009 AND IS FOR GRAPHIC PURPOSES ONLY.

HORIZONTAL & VERTICAL CONTROL

HORIZONTAL & VERTICAL CONTROL WAS BASED ON A GPS SURVEY USING GNSS RTK METHODS CONNECTED TO THE LEICA SMARTNET REAL TIME NETWORK TIED INTO CALIFORNIA STATE PLANE COORDINATES NAD83, EPOCH 2020.750.

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF MOHSIN HUSSAIN.



KELLY S. JOHNSON
L.S. No. 9126
DATE: DECEMBER 16, 2020

NO PART OF THIS DOCUMENT MAY BE REPRODUCED IN ANY FORM INCLUDING PHOTOCOPY, RECORDING OR ANY INFORMATION RETRIEVABLE AND STORAGE SYSTEM, WITHOUT PERMISSION IN WRITING FROM SANDIS.

SANDIS CIVIL ENGINEERS SURVEYORS PLANNERS
1700 Winchester Boulevard, Campbell, CA 95008 | P. 408.636.0900 | F. 408.636.0999 | www.sandis.net
SILICON VALLEY TRI-VALLEY CENTRAL VALLEY SACRAMENTO EAST BAY/SF 219603

DATE	3/4/2020
SCALE	1" = 10'
DRAWN BY	NBB
APPROVED BY	KSJ
DRAWING NO.	219603

No.	REVISION/ISSUE	DATE	BY
1	SUPPLEMENTAL TOPOGRAPHIC	12/15/2020	WAH

PARTIAL LOT TOPOGRAPHIC & BOUNDARY SURVEY

LANDS OF HUSSAIN
324 BLUE OAK LANE
LOS ALTOS CALIFORNIA

SHEET
C-0
OF 1 SHEETS

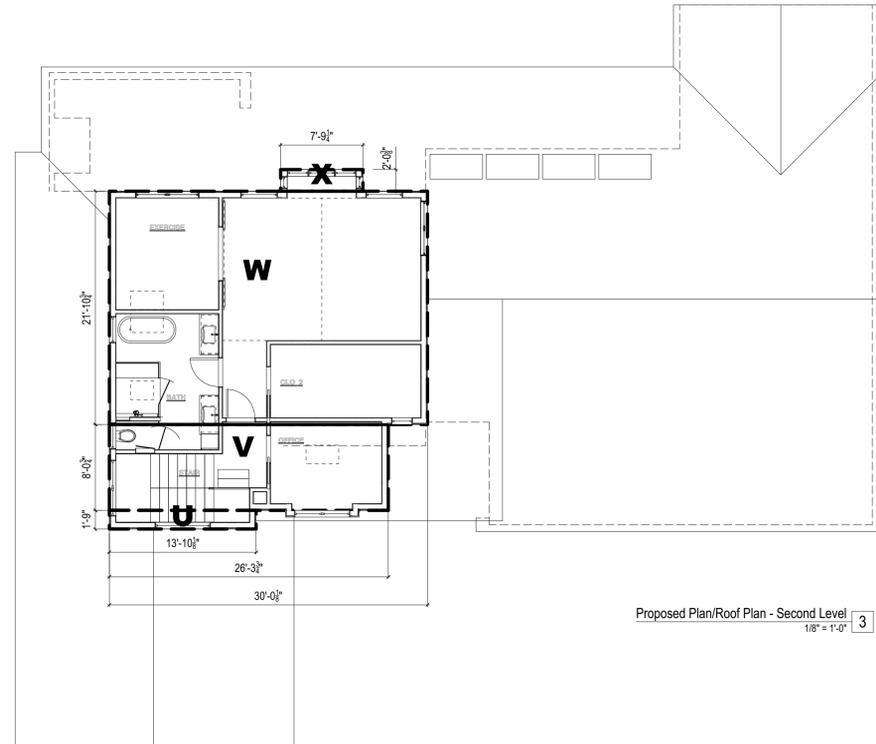


Addition and Remodel at:
324 Blue Oak Lane
Los Altos, California

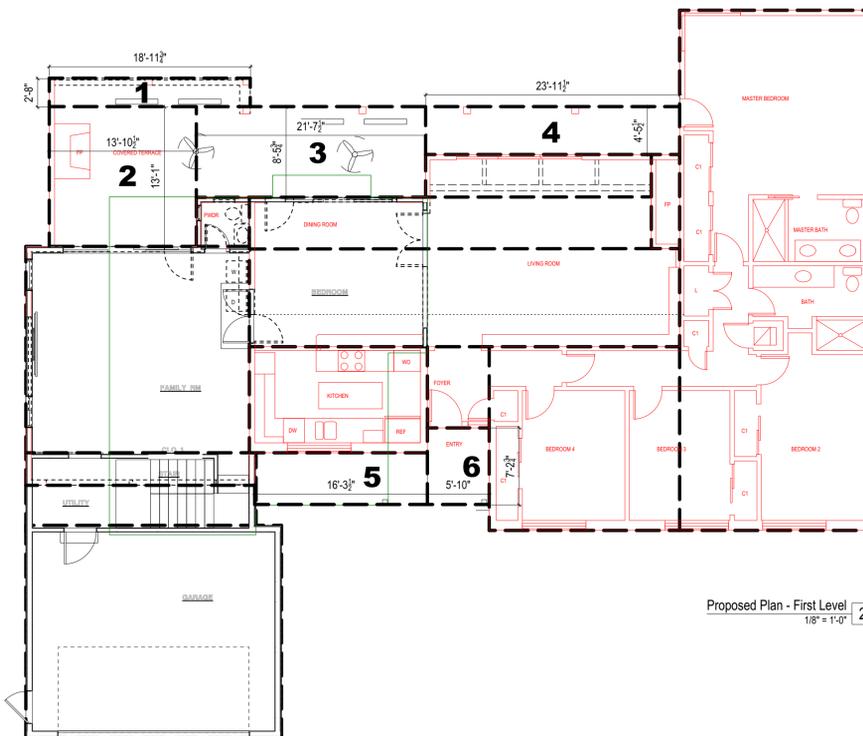
PROPOSED PLAN

H	480.8
J	81.7
K	66.3
L	408.5
M	23.1
N	167.0
O	44.5
P	309.8
Q1	182.7
Q2	373.7
R	84.7
S	23.6
T	887.1
U	24.3
V	212.1
W	657.1
X	15.8
TOTAL	4042.7

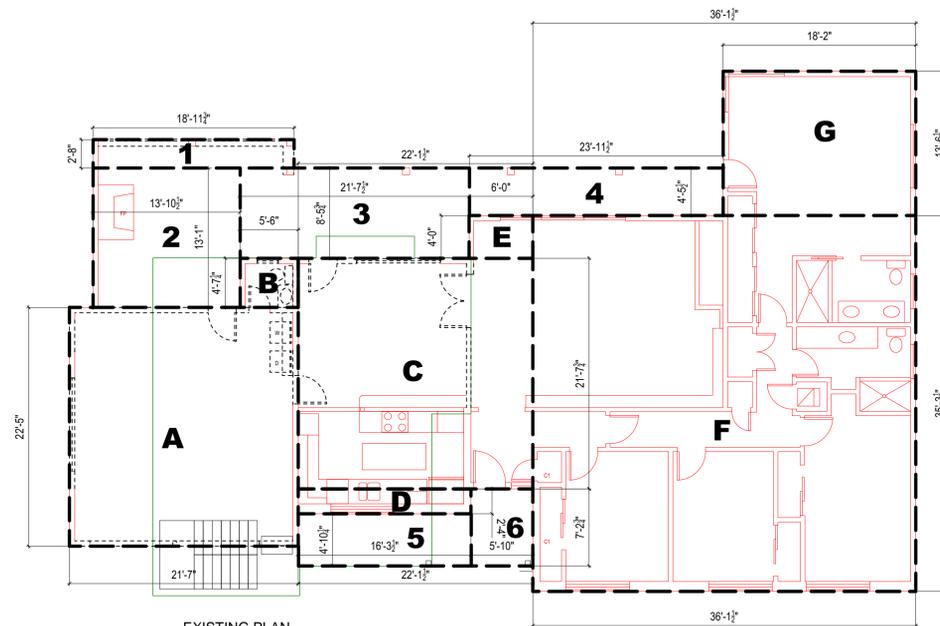
EXTERIOR COVERED AREA	
1	50.6
2	181.4
3	183.8
4	106.8
5	67.4
6	42.2
TOTAL	632.2
TOTAL OVERALL	4638.7



Proposed Plan/Roof Plan - Second Level
1/8" = 1'-0" 3



Proposed Plan - First Level
1/8" = 1'-0" 2



Existing Conditions
1/8" = 1'-0" 1

EXISTING PLAN

A	483.8
B	25.2
C	478.9
D	38.0
E	24.2
F	1274.9
G	246.0
TOTAL	2571.0

EXTERIOR COVERED AREA	
1	50.6
2	181.4
3	183.8
4	106.8
5	67.4
6	42.2
TOTAL	632.2
TOTAL OVERALL	3203.2

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DRAWING NUMBER

A0.1

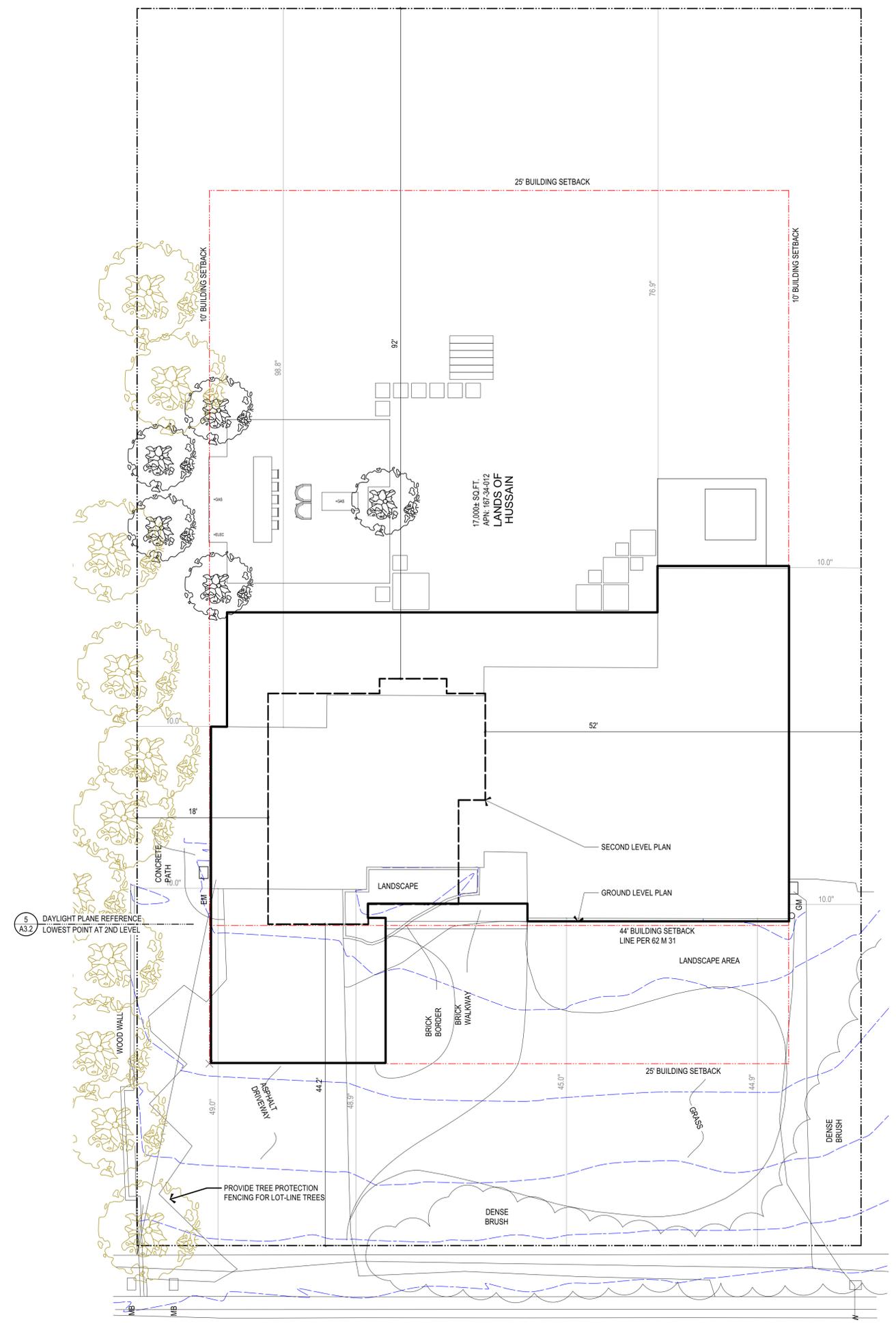
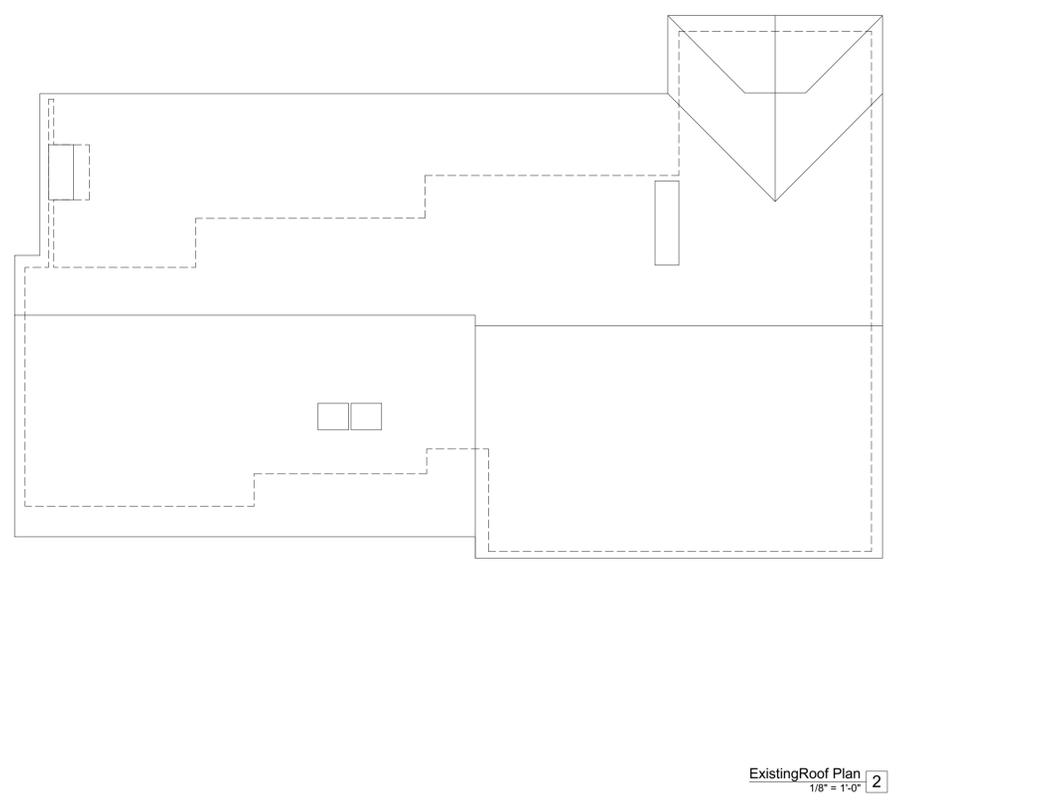
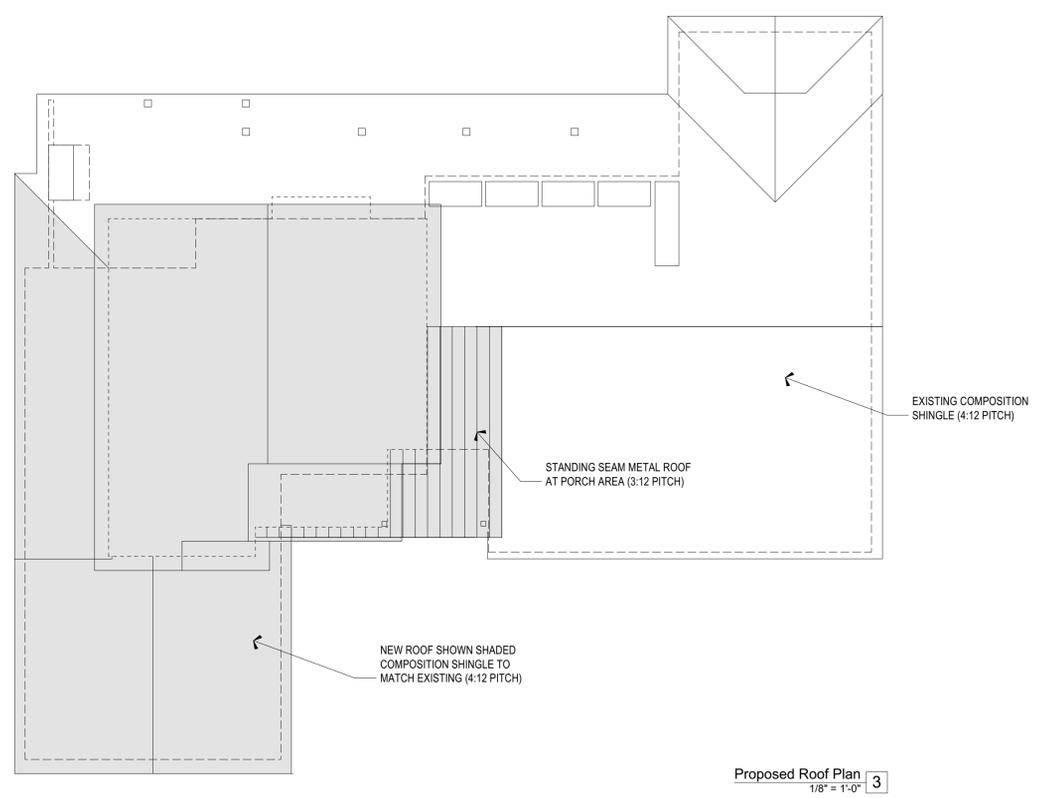


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A1.0



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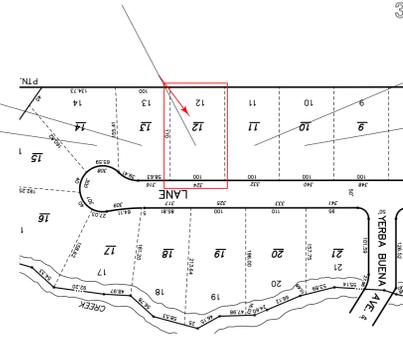
308

316

324

332

340

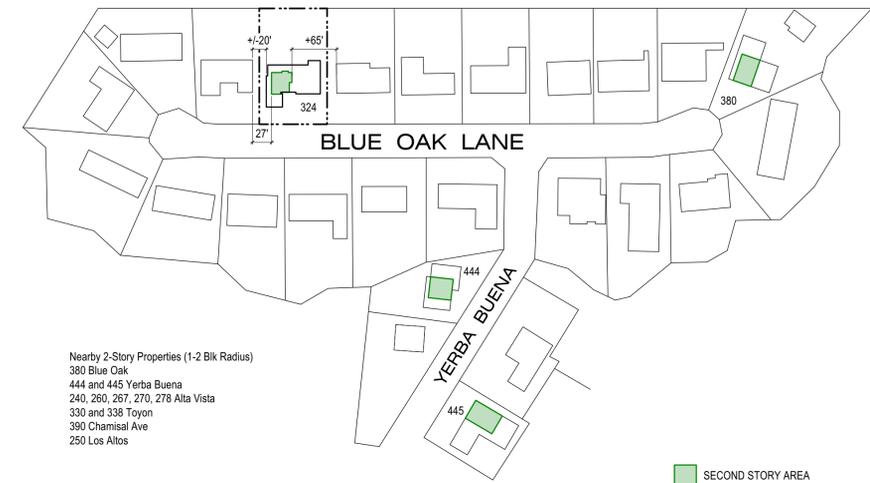
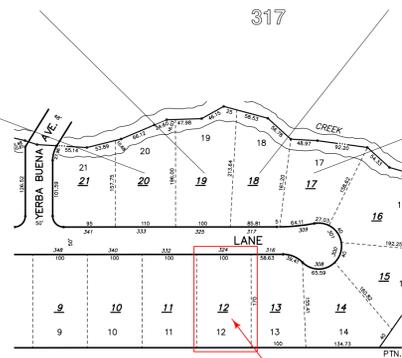


333

325

317

309



Nearby 2-Story Properties (1-2 Blk Radius)
380 Blue Oak
444 and 445 Yerba Buena
240, 260, 267, 270, 278 Alta Vista
330 and 338 Toyon
390 Chamisal Ave
250 Los Altos

1 NEIGHBORHOOD MAP
Scale: 1:1500

SECOND STORY AREA



325

VIEW ACROSS BLUE OAK LANE LOOKING TOWARD CUL-DE-SAC

324

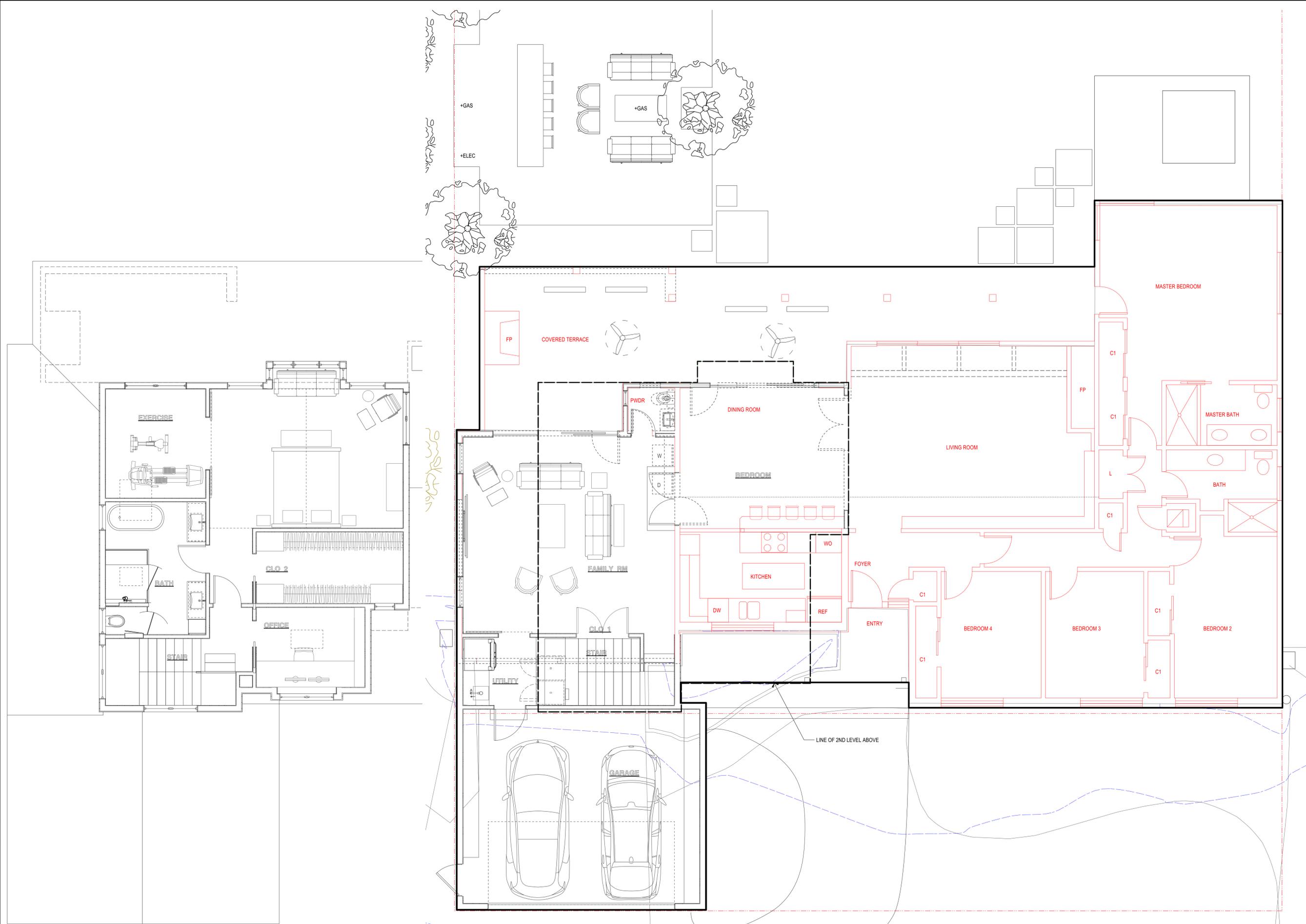
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DRAWING NUMBER

A1.1

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Second Level Proposed Plan
1/4" = 1'-0" 2

First Level Proposed Plan
1/4" = 1'-0" 1

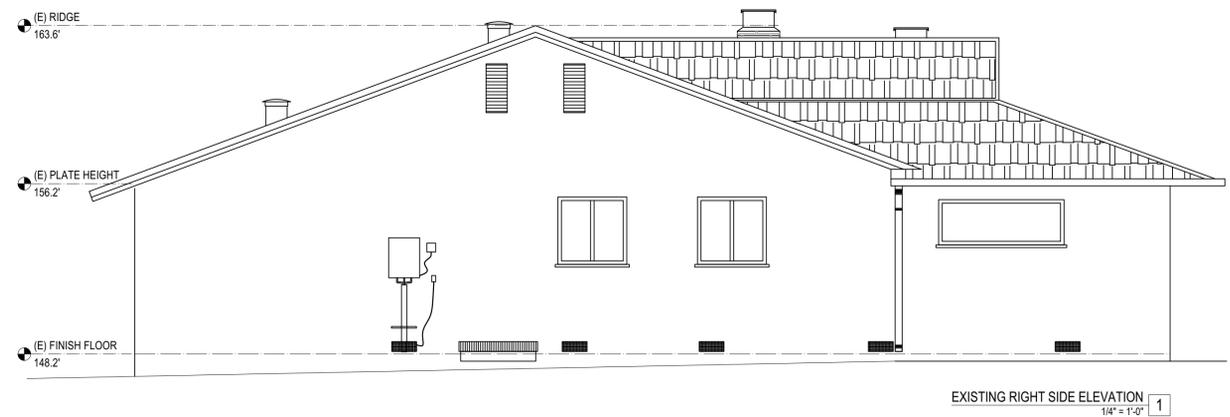
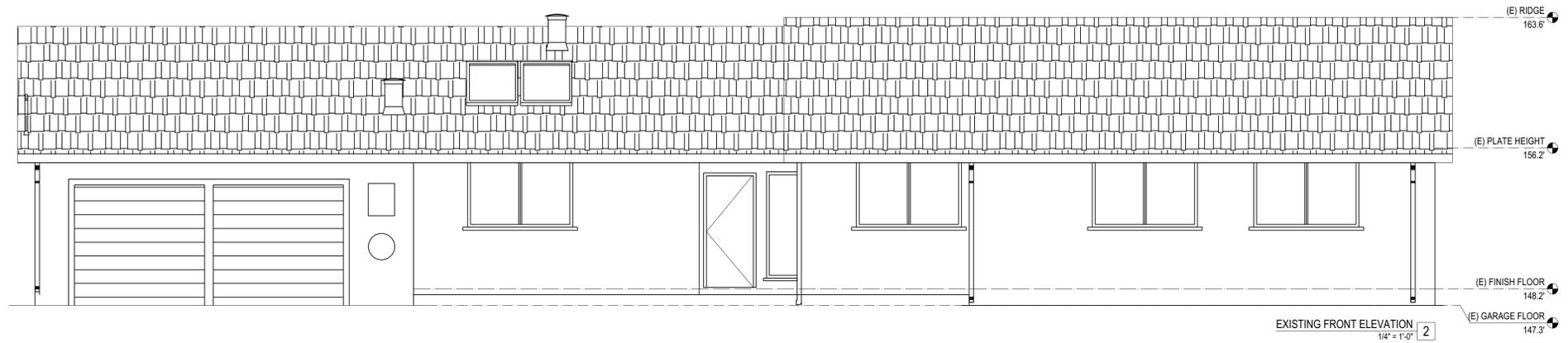
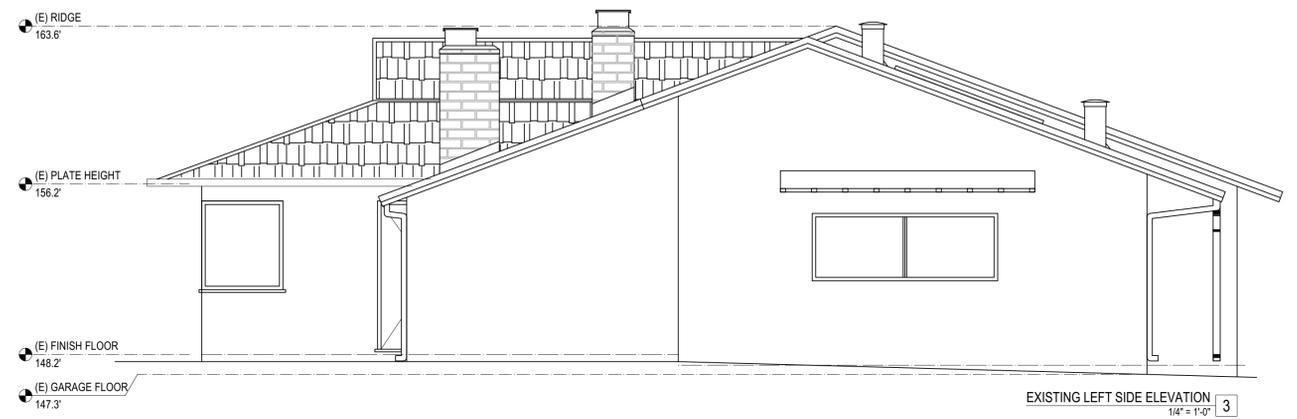
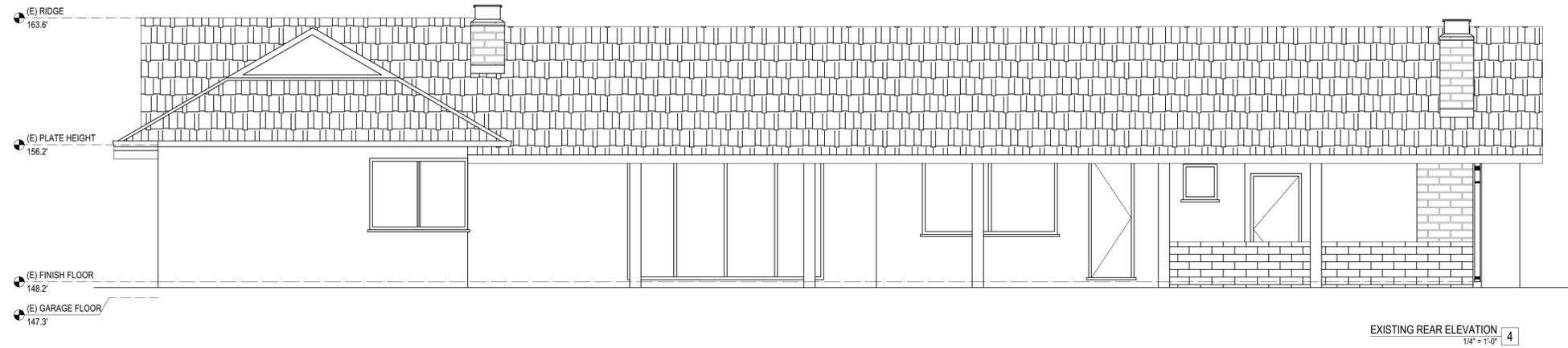
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REVIEW SUBMITTAL	
TWO-STORY DESIGN	5 OCT 2020
REVIEW SUBMITTAL	
TWO-STORY DESIGN	12 MAR 2021
REVIEW SUBMITTAL	

DRAWING NUMBER

A2.1

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TWO-STORY DESIGN REVIEW RESUBMITTAL	12 MAR 2021
TWO-STORY DESIGN REVIEW RESUBMITTAL	6 APR 2021

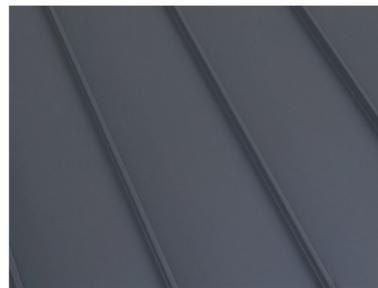
DRAWING NUMBER

A3.1

EXISTING EXTERIOR ELEVATIONS



Painted Board and Batten Siding with painted Wood Eaves



Standing Seam Metal Roof - Slate Gray



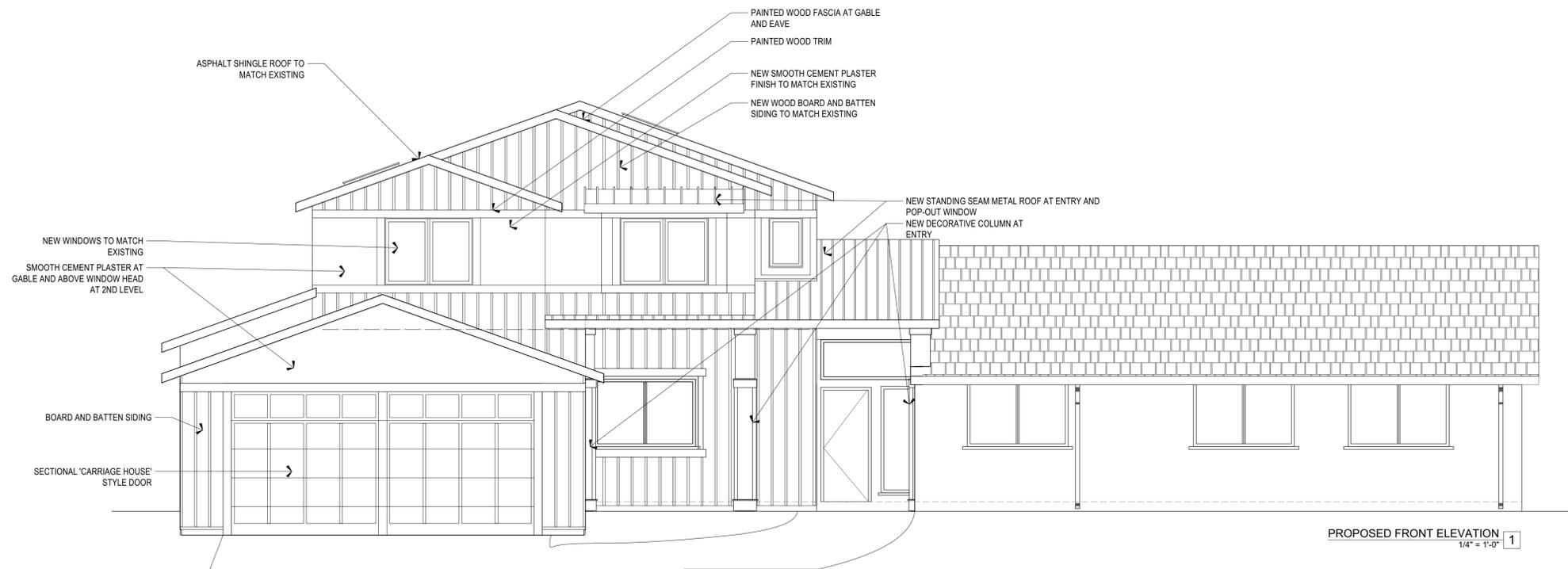
Clad Exterior Divided Lite Windows
Dark Finish



GAF Timberline® HDZ™ RS Shingles - Slate Gray



Mixed Roofing Materials for Interest and highlight



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DRAWING NUMBER

A3.3

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